

Ward: Radcliffe - North and Ainsworth

Item 02

Applicant: Mr and Mrs Stopforth

Location: Coach House, Knowsley View, Knowsley Road, Bolton, BL2 5PT

Proposal: Change of use from coach house to 3 no. 2 bed apartments; Raising ridge height on existing extension; Single storey front extension; Single storey side extension.

Application Ref: 72236/Full

Target Date: 28/10/2025

Recommendation: Approve with Conditions

Description

The site relates to a plot and building which forms part of the former Ainsworth Nursing Home. It is accessed via a private lane from the top of Ainsworth Road.

The whole site is located in the Green Belt, Landscape Character area and West Pennine Moors and is on the Council's Draft local list as a Non-Designated Heritage Asset. The site is covered by a blanket TPO.

The site is located to the north of Ainsworth Village and is self-contained and remote from the rest of the village, nearby farm settlements and residential dwellings, having formally being an isolation hospital for infectious diseases. It was later used as a nursing home for the elderly up until the time it closed down.

The nursing home site is rectangular in shape and the existing built development is generally focused centrally within the site, with the main internal access running north through the site which branches to the east to serve the main building and other buildings to the north. The remaining land is grassed, treed or vegetated. Surrounding the site is open land and fields.

The site has been sold off as separate plots and 5 plots have planning permission for residential development - 3 for conversions and extensions to the existing buildings, 1 for demolition and new build and 1 new build property.

This application relates to a building known as the 'Coach House, a large single storey detached building which formed part of the main hospital site. The building is linear in footprint and had a single storey extension front added at a later date and a ramped front access. The building is well formed and proportioned and an interesting structure of architectural merit. with original features and windows.

The Coach House is located to the rear of the site, to the north of Knowsley House (main hospital building which has permission for conversion to residential) and the Haven (a modern and later addition to the hospital site which has since been demolished and redeveloped for 1 no dwelling. It is flanked by the Wash House (converted to a dwelling) to the west and another original nursing home building to the west.

Planning permission for the demolition and replacement of the Coach House with 2 no dwellings has been previously sought on two occasions. Both applications were refused and both dismissed in appeal.

In both cases, the Appeal Inspector found that harm would be caused to the group value of the NDHA and the character and appearance of the localised area of the former Nursing

Home and that the proposed developments for new builds would not mitigate against the loss of the Coach House

This application seeks conversion of the Coach House to 3 no. 2 bed apartments, raising the ridge height on the extension and single storey front and side extensions.

The Coach House has a linear footprint with the small front extension projecting from the right handside of the building and ramp access to the front entrance.

The original building would be retained in its entirety and it is proposed to remove the ramp and provide a single storey front extension with a parapet roof which would project 2.1m from the original front wall, the same width as the ramp. The single storey side extension would be located on the eastern side of the building and extend the building by 2.8m x 2.1m. The ridge height of the existing single storey front extension would be increased by 0.5m from 4.7m to 5.2m.

Original features and windows would be largely retained apart from where it is proposed to extend the front elevation and provide access from patio doors at the rear.

Internally, the building would be split into 3 apartments. Units 1 and 2 would be the same size and of the same layout, with open plan living at the ground floor and two bedrooms and bathroom at the first floor within the roofspace and 2 small rear dormers.

Unit 3 would be the larger unit but would be set over one level due to this part of the building being lower. Unit 3 would similarly provide open plan living accommodation with two bedrooms and a bathroom.

It is proposed to provide an access drive to the front and side of the building and 2 parking spaces for each unit with a communal bin store and bike store. To the rear of the building would be a terraced patio with garden area beyond to the rear boundary of the site.

Relevant Planning History

67368 - Demolition of existing building to be replaced with 2 no. dwellings - Refused 30/11/21. Appeal dismissed 10/1/23

69616 - Demolition of existing building to be replaced with 2 no. dwellings - Refused 24/9/23, Appeal dismissed 15/7/24

Adjacent site

65412 - Conversion of wash house to 1 no. dwelling with single storey extensions and dormer to rear - Approve with Conditions 22/06/2020

65626 - Conversion of property to 1 no. residential building; increase to the roof height, two storey extension and associated parking and landscaping, change of use of land to residential garden - Approve with Conditions 23/09/2020

66142 - Change of use from nursing home to private dwelling including alterations and garage extension - Approve with Conditions 21/01/2021

66467 - Variation of conditions following approval of 65626- Amendment to approved plans with the addition of a porch - 30/3/2021

66398 - Non-material amendment following grant of planning permission 65412 - Removal of two windows on the west elevation and replace with timber French doors - Approve with Conditions 05/02/2021

66763 - Demolition of existing nursing home and construction of two storey detached dwelling with associated garages - Refused 9/12/21

66836 - Demolition of the building known as The haven and erection of replacement building for use as a private dwellinghouse, with associated garden curtilage and parking - approved 23/7/21

68661 - Erection of a dwelling and associated access, parking and landscaping, provision of landscape buffer, and change of use and refurbishment of Gate House within the curtilage of the former Ainsworth Nursing Home - approved 10/11/22

68665 - Redevelopment of a site known as 'The Haven' for 1 no. private residential dwelling, with associated garden curtilage and parking - Approved 10/11/22

71819 - Variation of condition no. 2 (approved plans) of planning permission 68661 to alter the approved design/layout of the house to include a new basement level, 2no. rear dormers swapped for 2no. rear outriggers; addition of 2no. single storey side extensions and an increase in floorspace - Approved 17/7/25

72376 - Variation of condition nos. 2 (approved plans), 3 (approve materials), 4/5 (ground conditions), 11 (drainage strategy) and 12 (traffic management) on planning permission 68661 (Erection of a dwelling and change of use and refurbishment of Gate House): to alter the design and layout of the house to include a new basement level, 2no. rear dormers swapped for 2no. rear outriggers; addition of 2no. single storey side extensions and an increase in floorspace). Received - 29/09/25

Publicity

Letters sent on 11/9/24 to 11 properties.

Site notice posted 18/9/25

Press advert 16/10/25

3 objections have been received as a result of this publicity, which has raised the following issues:

Highway Safety and Traffic Congestion

- The access road is narrow making it unsuitable for the level of traffic
- Inadequate number of parking spaces which would lead to overflow parking next to other properties
- Congestion and safety concerns
- No visitor spaces

Overdevelopment and Character of the Area

- Works have commenced using brick work that does not match
- Proposed modern fencing would be out of keeping
- The overall impression is one of a modern development
- Increase to roof would visually dominate the area

Amenity Impacts

- Increase from one dwelling to three will inevitably cause greater noise and general activity, particularly from vehicle movements and multiple households using a confined access. This will harm the residential amenity of existing neighbours and change the quiet character of the area.

Strain on Local Infrastructure

- Additional strain on local services and infrastructure, including waste collection, schools and GP surgeries. The development would worsen the situation.
- The application provides no clear details on arrangements for foul water, surface water, or any water treatment systems. the application is incomplete and unsuitable for approval.

Emergency Vehicle Access

- The layout of the site provides limited space for vehicle manoeuvring. In particular, the turning circle required for emergency vehicles, such as fire engines or ambulances, would be severely restricted. This raises serious concerns about the ability of emergency services to safely and efficiently access the site, putting future residents and neighbours at risk.

Precedent for future development

- Set a troubling precedent for similar intensification in the area and raises serious concerns that further applications could follow. and the gradual erosion of the areas established residential character and infrastructure capacity.

Application re-advertised to amend the description to include the single storey front and side extension.

Letters sent on 9/10/25.

Site notice posted 14/10/25

Press advert 16/10/25

No further representations received.

The objectors have been notified of the Planning Control Committee meeting.

Statutory/Non-Statutory Consultations

Traffic Section - Comments to be reported in the Supplementary Report.

Conservation Officer - No objection

Greater Manchester Ecology Unit - No objections subject to conditions

Environmental Health - Contaminated Land - No objection subject to conditions

Public Rights of Way Officer - Comments to be reported in the Supplementary Report.

United Utilities (Water and waste) - No response received

Borough Engineer - Drainage Section - No objection subject to condition

Waste Management - No objection subject to adequate bin provisions

Pre-start Conditions - Agent has agreed with pre-start conditions

Development Plan and Policies

H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN8/1	Tree Preservation Orders
OL1/4	Conversion and Re-use of Buildings in the Green Belt
OL7/2	West Pennine Moors
HT2/4	Car Parking and New Development
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
JP-C2	Digital Connectivity
JP-C5	Streets For All

JP-C6	Walking and Cycling
JP-C8	Transport Requirements of New Development
JP-G1	Landscape Character
JP-G7	Trees and Woodland
JP-G8	A Net Enhancement of Biodiversity and Geodiversity
JP-G9	The Green Belt
JP-H3	Type, Size and Design of New Housing
JP-H4	Density of New Housing
JP-P2	Heritage
JP-S2	Carbon and Energy
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF), the adopted Places for Everyone Joint Development Plan Document (PfE) and the saved policies within the adopted Bury Unitary Development Plan (UDP), together with other relevant material planning considerations.

The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP and PfE Policies will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Housing Principle

The National Planning Policy Framework (NPPF) is a material planning consideration in planning decisions, and emphasises the Government's objective of significantly boosting the supply of homes. The Framework states that local planning authorities should identify and update annually a supply of specific deliverable sites to provide a minimum of five years' worth of housing, with either a 5% buffer to ensure choice and competition in the market for land, or a 20% buffer where there has been significant under delivery of housing over the previous three years. As set out in NPPF paragraph 78, the supply of housing must be assessed against the housing requirement set out in adopted strategic policies where these are less than five years old.

The joint Places for Everyone Plan was adopted with effect from 21 March 2024 and sets the up-to-date housing requirement for Bury against which the deliverable supply of housing land must be assessed. PfE Policy JP-H1 sets the following stepped targets for Bury:

- 246 homes per year from 2022-2025;
- 452 homes per year from 2025-2030; then
- 520 homes per year from 2030-2039.

Bury's Strategic Housing Land Availability Assessment sets out the latest housing supply position, which is made up of sites that have an extant planning permission and sites that have potential to obtain planning permission in the future. This shows that there are a number of sites within the Borough with the potential to deliver a significant amount of housing. However, not all of these sites will contribute to the deliverable land supply calculations as many sites will take longer than five years to come forward and be fully developed. The joint Places for Everyone Plan allocates significant strategic sites for housing within Bury and will accelerate housing delivery within the Borough to meet housing needs.

Following the adoption of Places for Everyone, the Council is able to demonstrate a

deliverable 5 year supply of housing land with a 20% buffer (as currently required in Bury due to past under delivery) when assessed against the adopted PfE housing requirement.

The National Planning Policy Framework also sets out the Housing Delivery Test (HDT), which is an assessment of net additional dwellings provided over the previous three years against the homes required. Where the test indicates that the delivery of housing was substantially below (less than 75%) the housing requirement over the previous years, this needs to be taken into account in the decision-taking process. The latest results published by the Government (the 2023 measurement published on 12 December 2024) show that Bury has a HDT result of less than 75%, and therefore, this needs to be treated as a material factor when determining applications for residential development.

Therefore, paragraph 11(d) of the National Planning Policy Framework states that where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, planning permission should be granted unless:

- i. The application of policies in the Framework that protect areas, or assets of particular importance, provide a strong reason for refusing the development proposed; or
- ii. Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework, having particular regard to key policies for directing development to sustainable locations, making effective use of land, securing well-designed places and providing affordable homes, individually or in combination.

As a result of the latest published HDT result the 'tilted balance' applies and planning permission should be granted unless the above points Para 11(d) i or ii apply.

The proposed building is located on a brownfield site, close to the village of Ainsworth. It lies within an existing complex of buildings formerly used as a nursing home and therefore residential in character to some degree. There is existing infrastructure in place to facilitate the development and it is considered that the proposal for minor extension and conversion for residential purposes would not conflict with the character of the surrounding area or land uses. There have also been previous applications for residential development on this site which have been assessed and considered to be acceptable in principles for residential use.

Use of the site as residential is accepted in principle. However regard will need to be have to the considerations which are detailed in the report below and whether the tilted balance of para 11(d) i and ii applies.

In this case, the site is located within the Green Belt so therefore paragraph 11 (d)(i) applies and the proposal needs to be assessed against Green Belt policies.

Green Belt Assessment and Principle

Paragraph 154 of the NPPF states that development in the green Belt is considered to be inappropriate unless it meets one of the exceptions, which includes

- g) limited infilling or the partial or complete redevelopment of previously developed land (including a material change of use to residential or mixed use including residential), whether redundant or in continuing use (excluding temporary buildings), which would not cause substantial harm to the openness of the Green Belt.
- h) iv. the re-use of buildings provided that the buildings are of permanent and substantial construction.

The development would involve conversion of a building which is of substantial construction and as such acceptable in principle.

Extensions would add relatively minor additions which given the size and position on the building would not cause harm to openness.

In the previous Appeal decisions for the demolition and redevelopment works, the Inspector considered the increases in area and height would be very limited and barely perceptible and that furthermore, the mass of the proposed dwellings together would not be significantly different to the mass of the existing building.

The Inspector went on to say that in terms of the wider site, the former nursing home is some distance from the nearest neighbours and bounded by protected trees and consequently the impact on the visual openness of the Green Belt would be restricted to within the former nursing home site and seen against the backdrop of either other buildings and trees.

The Inspector therefore concluded that overall, the proposed development would not have a greater impact on the spatial or visual openness of the Green Belt and therefore did not constitute inappropriate development and would not require very special Circumstances.

Given the very limited works which would be involved in this application, it is considered that the proposed development would be appropriate and would not require very special circumstances.

Heritage

The group of buildings comprising Ainsworth Nursing Home (Formerly Broom Field Isolation Hospital) is considered to be Non-Designated Heritage Asset (NDHA). The application site is the single storey building known as the Coach House. This building is described in the submitted heritage statement as a smaller reception ward for doubtful cases. It is built in the typical civic Edwardian style in red brick with a dual pitched roof with hipped ends. The building is one of five original buildings that currently remain on the site, the others being the Wash House, Pavilion Block, Gate House and the building referred to as the Administration Block. The site is not within a conservation area.

Paragraph 208 of the National Planning Policy Framework (NPPF) requires that Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

Paragraph 216 of the NPPF requires that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Paragraph 210 of the NPPF states that in determining applications, local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive contribution to local

character and distinctiveness.

Two previous applications on the application site 67368 and 69616 for its demolition and re-development were refused and dismissed at appeal by the Planning Inspectorate. This was in part due to their contribution to the group value of the site of the former Ainsworth Nursing Hospital as a non-designated asset, and in maintaining the sites' legibility as such. This application aims to convert the former accommodation block into three two bedroom apartments with a low parapet roofed front extension which will also extend across part of the existing 20th century side extension. The ridge of the extension will be raised 500mm to facilitate the roof integration of the front elevation. The proposal would also have two small dormers on the rear roof slope.

The front extension would in part replace a modern stepped level flat roof corridor extension. This alteration together with the proposed dormers at the rear would be an improvement restoring the front elevation with a visual balance and homogeneity. The front extension would have a direct impact on the NDHA but would not cause loss of legibility to an unacceptable loss or harm to significance. As such the group value site would be maintained.

The proposed development would therefore comply with Policy JP-P2 of the Places for Everyone Joint Development Plan and the principles of the NPPF.

Design and layout

Density

PfE Policy JP-H4 - Requires new housing development to be delivered at a density appropriate to the location, reflecting the relative accessibility of the site by walking, cycling and public transport and the need to achieve efficient use of land and high-quality design. Policy JP-H4 sets out minimum densities that should be considered. The site falls in an area where a minimum density of 35 dwellings per hectare applies.

The site area is circa 0.152 hectares. 3 dwellings would equate to 20 dwellings per hectare which is below the requirement of JP-H4.

The policy states that lower densities may be acceptable where they can be clearly justified by:

- Local housing market issues, such as a demonstrable need for a particular type of housing that cannot be delivered at a higher density; or
- Site-specific issues, such as the design context and any potential impact on the wider landscape or townscape including heritage assets and green infrastructure.

The site is a NDHA and therefore of an historic importance. In the case of both previous appeal decisions for this site, the inspectors noted the importance of the group value of the former nursing home site as a whole. Where such heritage assets exist, consideration should be given to retaining the importance of those assets and in this instance, given the status of the site and the context of the building within the site, the proposed conversion to 3 no dwellings is considered acceptable.

Layout

As the development proposes the conversion of the building, the main changes to layout would involve the provision of a driveway and parking, bin and cycle store facilities and gardens.

It is proposed to create a driveway to the front of the building which is currently grassed and which would require some levelling works. Two parking spaces would be provide next to

Unit 3 which is located at the eastern end of the building. the driveway would also extend to the side of the building where two parking spaces each for units 1 and 2 would be located, together with a communal bin and cycle store. The site area would enable cars to manoeuvre in and out of the site in a forward gear.

At the rear of the site is a large area of raised terraced/grassed area which would provide amenity space for each of the dwellings, extending 22m to the rear boundary. The gardens would be separated by 1.8m high timber fencing which would also extend around the garden of unit 1 to the west and used to enclose the bin and store areas. Timber fencing is commonly used to bound gardens and properties but can be quite modern in appearance. Given the historic character of this particular site and this plot, details of the fencing and its colour would be sought by condition.

Internally, the building would be split into 3 separate units, units 1 and 2 are of the same layout and size and provide open plan living on the ground floor and two bedrooms and bathroom at the first floor within the dormers and roofspace.

Unit 3 would be the larger in its ground floor footprint but it would be laid out over the one level as this part of the building is lower in the overall height. Similarly, living space would be open plan with two bedrooms and bathroom provided towards the front of the property.

Space standards

PfE Policy JP-H3 seeks to provide an appropriate mix of dwelling types and sizes. All new dwellings must -

1. comply with the nationally described space standards (NDSS) and
2. be built to the 'accessible and adaptable standard in Part M4(2) of Building Regulations unless specific site conditions make this impracticable.

The development would comply with the NDSS space standards and would provide a minimum gross internal floor area and each of the bedrooms would exceed the minimum floor areas.

A condition would be included for the development to be of an accessible and adaptable standard in compliance with M4(2).

Whilst there would be changes made to the layout of the site, these would be reasonable and not significant to support the scale of development for 3 apartments.

With appropriate and relevant conditions, the proposed development is considered to comply with policies H2/1, H2/2 and H2/4 of the Bury Unitary Development Plan and Policies JP-H3 and JP-H4 of the Places for Everyone Joint Development Plan.

Design

The Coach House is an original part of the former nursing home and contributes to the group value as an NDHA. Modifications of the building comprise the single storey front projection and ramp which were added at a later date. Other than that, the original building remains relatively intact.

The proposal to add a low parapet front extension would project 2.1m and whilst covering up the original window features, the style and design would be in keeping with the character of the building. The front entrance which is a feature of the building would be retained and as such, it is considered the legibility of the building would be maintained.

At the rear, two patio door would replace windows and new openings formed in the lower part of the building. It is also proposed to add two small dormers on the rear elevation and these would be designed to be in keeping with the building and the other original dormers

found on buildings in this site.

The proposed side extension would add 5.88sqm of floor area and located on the western side. It would be unobtrusive and not affect the original character of the building.

It is therefore considered the proposed alterations and extension would not cause harm to the heritage value of the building and would aide to preserving its longevity for the future through the redevelopment and future occupation of the building.

Impact on residential amenity

Within the site, the nearest properties (previously converted to dwellings) are the Wash House to the west and The Haven and Knowsley House to the south.

The Wash House would be 12.4m away from the blank side elevation of the Coach House. This is a pre-existing situation and as such impacts of outlook and privacy would be no worse than existing. the drive access and parking would all be within the site area of the Coach House. As such, impacts on the Wash House are considered not to be significant.

Ainsworth House is located directly to the south of the application building and there would be a distance of 19m to the main rear elevation which is acceptable. Ainsworth House has a single storey outrigger at the rear which would be 8m away from the front of the Coach House. The rear elevation of the outrigger has a blank wall and as such there would be no overlooking of this property. This property would also have fencing round their garden area at the area and as such would not be significantly overlooked. As such, impacts on Ainsworth House are considered not to be significant.

The Haven is located directly behind the single storey front projection of the Coach House approximately 1m from the rear boundary of The Haven and 8m from the rear elevation of this property. There are no windows proposed to the rear elevation of the outrigger and as such, the proposed development would be no different to the existing situation and relationship which exists to this neighbour.

In addition, The Haven development was a demolition and new build development and the occupier of this property would be aware of the relationship to the application site when planning the new footprint of the house and the garden area.

It is proposed to increase the ridge height of the outrigger by 0.5m. The outrigger is located to the north of the Haven and given the sun path, there would not be a significant loss of light to this property or the garden. The roof to the outrigger is pitched and given the relatively minor addition to the height, it would not have a significant overbearing relationship to the neighbour.

It is therefore considered that there would not be a detrimental impact on the amenity of the occupiers of The Haven.

The proposed development is therefore considered to be acceptable and would comply with Policies H2/1, H2/2 and H2/4 of the Bury Unitary Development Plan.

Highway issues

Access

The existing access to the site is from the head of Knowsley Road (a Public Right of Way) and is a single wide lane but well surfaced and maintained.

The Highway Authority have stated that improvement works/maintenance to the Knowsley road PRow would be required due to scale of development. However, the majority of

Knowsley Road is a private road and privately maintained and it is not in the gift of the applicant to carry out such works. Moreover, all residents on the road are responsible for its upkeep and not just on the shoulders of the applicant. Like the other developments which have already been carried out on this site, a condition for a dilapidation survey prior to and post development would be recommended to ensure that any damage caused by construction traffic is repaired at the cost of the applicant. A PRow only needs to be maintained as a PRow as that is its present status.

In terms of the access lane itself, this is a well maintained road and incorporates a passing place en route. Given the scale of development for the conversion to 3 apartments, it is considered this would not generate significant levels of traffic, especially comparable to the former use of the site as a nursing home which could generate far more trips by ambulances, staff and visitors as well as the servicing of the site.

As such, with a suitable condition to submit a Construction Traffic Management Plan, the proposed development is considered acceptable.

Parking

Under adopted SPD11, the site is located in Zone 4 which requires 1.5 spaces per apartment or 2 spaces per two/three bed dwellings. The development would provide 2 spaces per 2 bed apartment and as such would be policy compliant.

SPD11 also requires 1 secure covered space per apartment. The development proposes a communal covered cycle store which could house 3 cycles and as such would be policy compliant.

It is therefore considered that with reasonable and necessary conditions, the proposed development would be acceptable and comply with Policies H2/2 and H2/4 of the Bury Unitary Development Plan and Policies JP-C5 and JP-C8 of Places for Everyone Joint Development Plan.

Ecology

Summary

The only ecological issue appears to be biodiversity net gain.

Bats

A new bat report has been provided. The findings were consistent with the previous surveys with the building assessed as low risk and no bats recorded as emerging following one dusk survey. GM Ecology Unit (GMEU) therefore have no reason to doubt the findings of the report. As a precaution, GMEU recommend an informative to remind applicants that under the 2019 Regulations it is an offence to disturb, harm or kill bats. If a bat is found all work should cease immediately and a suitably licensed bat worker employed to assess how best to safeguard the bat(s).

Nesting Birds

Possible nesting of jackdaw was recorded on the building. All British birds nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife & Countryside Act 1981, as amended. GMEU recommend a condition that no building works shall commence between the 1st March and 31st August in any year unless a precautionary working method statement for nesting birds by a suitably experienced ecologist has been supplied to and agreed in writing by the Local Planning Authority.

Contributing to and Enhancing the Natural Environment & Biodiversity Net Gain (BNG)

Section 187 of the NPPF 2024 states that the planning policies and decisions should contribute to and enhance the natural and local environment. 10% BNG is mandatory under

Schedule 7A of the Town & Country Planning Act 1990 (as inserted by schedule 14 of the Environment Act 2021).

The development would result in a minor reduction in the area of amenity grassland/garden to development, with four trees proposed outside of the residential curtilage. Wildlife issues appear restricted to loss of bird nesting opportunities.

A BNG metric has been provided. This indicates 10% is achievable on the site. There were however some issues that would result in the development failing to achieve 10%, though the shortfall in absolute terms would be very low.

GMEU therefore advised the baseline is amended so as to include the retained trees and align the development areas in the application form and metric and a justification provided on how such a small area of public realm would be maintained independently of the gardens for 30 years.

The BNG metric has been amended and GMEU reconsulted.

The areas are now the same, with 10% still achieved on the site.

Small areas of amenity space would be retained with urban trees outside of the gardens. This is not a reason to object but as previously noted triggers the need to provide a 30 year Habitat Management and Monitoring Plan (HMMP).

Given these generate less than 0.1 units a simple HMMP controlled by a standard condition is in the opinion of GMEU all that would be required

The line of trees has still not been included in the metric. This is required, even though retained, as it forms part of the baseline value of the site, to which the 10% is applied. This is a linear feature, measuring approximately 42m in length base on the length of the rear boundary. If in moderate condition, there is a shortfall of 0.02 hedgerow units, that require mitigation. This is achievable on the site if a new native hedge is planted along the western boundary i.e. adjacent to amenity space. The developer could however purchase off-site units.

Given the very low number of units involved, GMEU have no issues with the resolution of this outstanding point to discharge of the statutory biodiversity gain condition, for:

- A biodiversity gain plan
- Final version of the metric and
- Final version of the HMMP

Note if the four trees are accepted as out of the gardens a 30 year habitat management and monitoring plan will be required as rural trees are defined as significant by Department for Environment, Food and Rural Affairs (DEFRA). If they are not accepted no HMMP will be required as no other significant habitat will be created on the site.

The statutory biodiversity gain condition would apply whether or not an HMMP is required. This would need to include the final version of the metric, the biodiversity gain plan and evidence that any purchase of off-site units has been registered with DEFRA.

GMEU recommend provision of two bird boxes on retained trees as mitigation for loss of bird nesting opportunities. The details can be provided via condition.

Air quality

The site is not located within an Air Quality Management Area. Due to the scale of the development, it is considered very unlikely that the development would create an increase of more than 500 AADT (annual average daily traffic). Therefore, in line with the EPUK Guidance, an air quality assessment will not be required. It is noted that 12 parking spaces are proposed.

Bury Council has been identified by DEFRA as an area requiring to significantly improve air quality. To support the principles of the Greater Manchester Clean Air Plan in reducing levels of nitrogen dioxide and in order to manage current and future levels of air pollution Bury Council is encouraging the use of cleaner vehicles. As such and in line the requirements of the Building Regulations (The Building Regulations 2010, Approved Document S, Infrastructure for the charging of electric vehicles), the team would recommend a condition to be placed on any grant of permission for 1 no. electric vehicle (EV) charging point per dwelling/parking space and cable routes to be provided for all parking spaces which do not have access to an electric vehicle charging point.

Policy JP-S2 - Carbon and energy

It is proposed to improve the thermal performance of the buildings beyond the levels required to comply with the current regulations as set out in Approved Document Part L. This will include improved insulation levels to the building envelope and upgrades to the existing windows and doors. This 'fabric first' approach reduces emissions by lowering the demand for heating. The dwelling will also include high efficiency heating systems with enhanced control systems.

The proposed development would therefore comply with Policy JP-S2.

Policy JP-C2 - Digital connectivity

The area does not currently have full fibre broadband and as such the property would not have this service until it is installed locally within the area. There is however standard broadband available for the site.

It is therefore considered the proposed would be acceptable and comply with JP-C2 as far as possible.

Response to objections

- If the building were to be converted to a single large family dwelling it could accommodate as many family members as could a 2 bed x 3 apartment development and as such noise is considered not to be of a significant concern.
- Similarly, it is considered the development for 3 no apartments would not put undue pressure on local services.
- A condition has been included for the submission of a surface and foul water scheme. the Drainage Engineer has advised the development be served by a septic tank and/or soakaway system. Approval for a surface water connection to an ordinary watercourse would need to be obtained from Bury Council.
- The existing access was satisfactory to serve the former nursing home site and given the site would have a wholly residential use of a limited scale, the access is considered acceptable to serve the site.
- Parking provision would be compliant with SPD11.
- Any further proposals for this site would be assessed on its own merits.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.

2. This decision relates to drawings -

Existing site plan TDS-25-196-001
Existing floor and roof plan TDS-25-196-002
Existing front and side elevations TDS-25-196-03
Existing rear and side elevations TDS-25-196-004
Proposed site plan TDS-25-196-05 rev A
Proposed ground floor plan TDS-25-196-06
Proposed first floor plan TDS-25-196-07
Proposed front and side elevations TDS-25-196-08
Proposed rear and side elevations TDS-25-196-09
Proposed refuge site plan TDS-25-196-010 rev A
Proposed external plan TDS-25-196-011 rev A

and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan and Places for Everyone Joint Development Plan listed.

3. No development hereby permitted (except demolition and site clearance) within any approved phase shall take place until the works relating to land contamination detailed below are fully completed:
With consideration to human health, controlled waters and the wider environment, the following documents shall be completed to characterise potential risk to sensitive receptors and submitted to the Local Planning Authority for approval:
 - I. Generic Quantitative Risk Assessment (GQRA). Submission of this document only if PRA requires it.
 - II. Detailed Quantitative Risk Assessment (DQRA). Submission of this document if GQRA requires it.Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

4. No development hereby permitted (except demolition and site clearance) within

any approved phase shall take place until the works relating to land contamination detailed below are fully completed:

In accordance with the findings of site characterisation and risk assessment as previously approved, documents from the following shall be submitted to the Local Planning Authority for approval:

- I. Remedial Options Appraisal.
- II. Remediation Strategy.
- III. Verification Plan.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

5. The development hereby permitted within any approved phase shall not be occupied/brought into use until the works relating to land contamination detailed below are fully completed:
Where remediation is required, it shall be carried out in full accordance with the approved Remediation Strategy.
A Verification Report must be submitted to the Local Planning Authority for approval upon completion of remediation works. The Verification Report must include information validating all remediation works carried out; details of imported materials (source/quantity/suitability); details of exported materials; and details of any unexpected contamination.
Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).
6. The development hereby approved within any approved phase shall not be brought into use until written confirmation is provided to the Local Planning Authority that unexpected or previously unidentified contamination was not encountered during the course of development works.

If, during development, unexpected contamination is found to be present on the site, no further works shall be carried out at the affected location until the following are submitted to the Local Planning Authority for approval:

- I. Risk Assessment (GQRA or DQRA);
- II. Remediation Strategy & Verification Plan;

If remediation is required, it shall be carried out in accordance with the approved Remediation Strategy. Upon completion of remediation works, a Verification Report shall be submitted for approval. The Verification Report must include information validating all remediation works carried out; details of imported materials (source/quantity/suitability); details of exported materials; and details of any unexpected contamination.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

7. Any soil or soil forming materials to be brought to site for use in garden areas, soft landscaping, filling and level raising shall be tested for contamination and suitability for use.

Proposals for contamination testing including testing schedules, sampling frequencies and allowable contaminant concentrations (as determined by appropriate risk assessment) and source material information shall be submitted to the Local Planning Authority for approval prior to any soil or soil forming materials being brought onto site.

The approved contamination testing shall then be carried out and validity evidence (soil descriptions, laboratory certificates, photographs etc.) submitted to Local Planning Authority for approval prior to the development being brought into use.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

8. The proposed development is within a radon affected area. As such basic radon protection measures in accordance with BRE 211 2023 must be employed.

A Verification Report detailing the design and installation of the remedial measures must be submitted to the LPA for approval upon completion of remediation works and prior to the development being brought into use. The report shall include a completed BRE211 Radon Protective Measures Quality Management Record, documented evidence of the installation inspection and proposed timeframe for post occupation monitoring. The report must also be provided to the homeowner at the point of sale.

Reason. To prevent unacceptable risk to Human Health and Controlled Waters and to prevent pollution of the environment in accordance with the aims and Paragraphs 187(f), 196 and 197 of the National Planning Policy Framework (December 2024).

9. Prior to occupation the applicant shall provide:

- 1 no. electric vehicle (EV) charging point (minimum 7kW*) per dwelling/parking space.

Certification and photographic evidence of the installation of the agreed electric vehicle charge points shall be submitted to Local Planning Authority for approval prior to the development being brought into use. The infrastructure shall be maintained and operational in perpetuity.

*Mode 3, 7kW (32A) single phase, or 22kW (32A) three phase, and for 50kW Mode 4 rapid charging may be required. British Standard BS EN 61851-1:2019 to be used. Further information regarding minimum standards can be found at <https://www.gov.uk/transport/low-emission-and-electric-vehicles>.

Reason. To encourage the uptake of ultra-low emission vehicles and ensure the development is sustainable and to safeguard residential amenity, public health and quality of life with respect to Local Air Quality, in accordance with paragraphs 112e, 117e, 187e and 199 of the National Planning Policy Framework (December 2024) and Places for Everyone Policy JP-S5 (Clean Air).

10. Notwithstanding the approved plans, details/sample of the proposed fencing shall be submitted to and approved by the Local Planning Authority prior to erection of the fencing. the approved fencing only shall thereafter be used for the development and thereafter maintained.

Reason. In the interests of visual amenity pursuant to Policy EN1/2 - Townscape

and Built Design of Bury Unitary Development Plan.

11. The dwelling hereby approved shall be built in accordance with the 'accessible and adaptable' standard in Part M4(2) of the Building Regulations.
Reason. To secure the satisfactory development of the site pursuant to Places for Everyone Joint Development Plan Policy JP-H3: Type, Size and Design of New Housing.
12. No building works shall commence between the 1st March and 31st August in any year unless a precautionary working method statement for nesting birds by a suitably experienced ecologist has been supplied to and agreed in writing by the Local Planning Authority.
Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6/3 - Features of Ecological Value, JP-G8 - A Net Enhancement of Biodiversity and Geodiversity and National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.
13. Prior to the first occupation of the development hereby approved, two bird boxes shall be provided on trees to be retained and shall thereafter be maintained or replaced and maintained in the same location.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policies EN1/2 - Townscape and Built Design, JP-G8 - A Net Enhancement of Biodiversity and Geodiversity and chapter 15 - Conserving and enhancing the natural environment of the NPPF.
14. Development shall not commence until details of surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or subsequent revisions of it. This must include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Design details should comply with guidance contained in the Greater Manchester's Sustainable Drainage Design Guide, March 25. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact. To promote sustainable development and reduce flood risk pursuant to JP- S4 - Flood risk and the Water Environment, EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
15. Details/Samples of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 - Townscape and Built Design
16. The development shall not commence until a Habitat Management and Monitoring Plan (the HMMP), prepared in accordance with the approved Biodiversity Gain

Plan and including:

1. a non-technical summary;
2. the roles and responsibilities of the people or organisation(s) delivering the HMMP;
3. the planned habitat creation and enhancement works to create or improve habitat to achieve the biodiversity net gain in accordance with the approved Biodiversity Gain Plan;
4. the management measures to maintain habitat in accordance with the approved Biodiversity Gain Plan for a period of 30 years from the completion of development; and
5. the monitoring methodology and frequency in respect of the created or enhanced habitat to be submitted to the local planning authority.

has been submitted to, and approved in writing by, the local planning authority.

Reason. To ensure the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990 and Places for Everyone Joint Development Plan Policy JP-G8 A Net Enhancement of Biodiversity and Geodiversity.

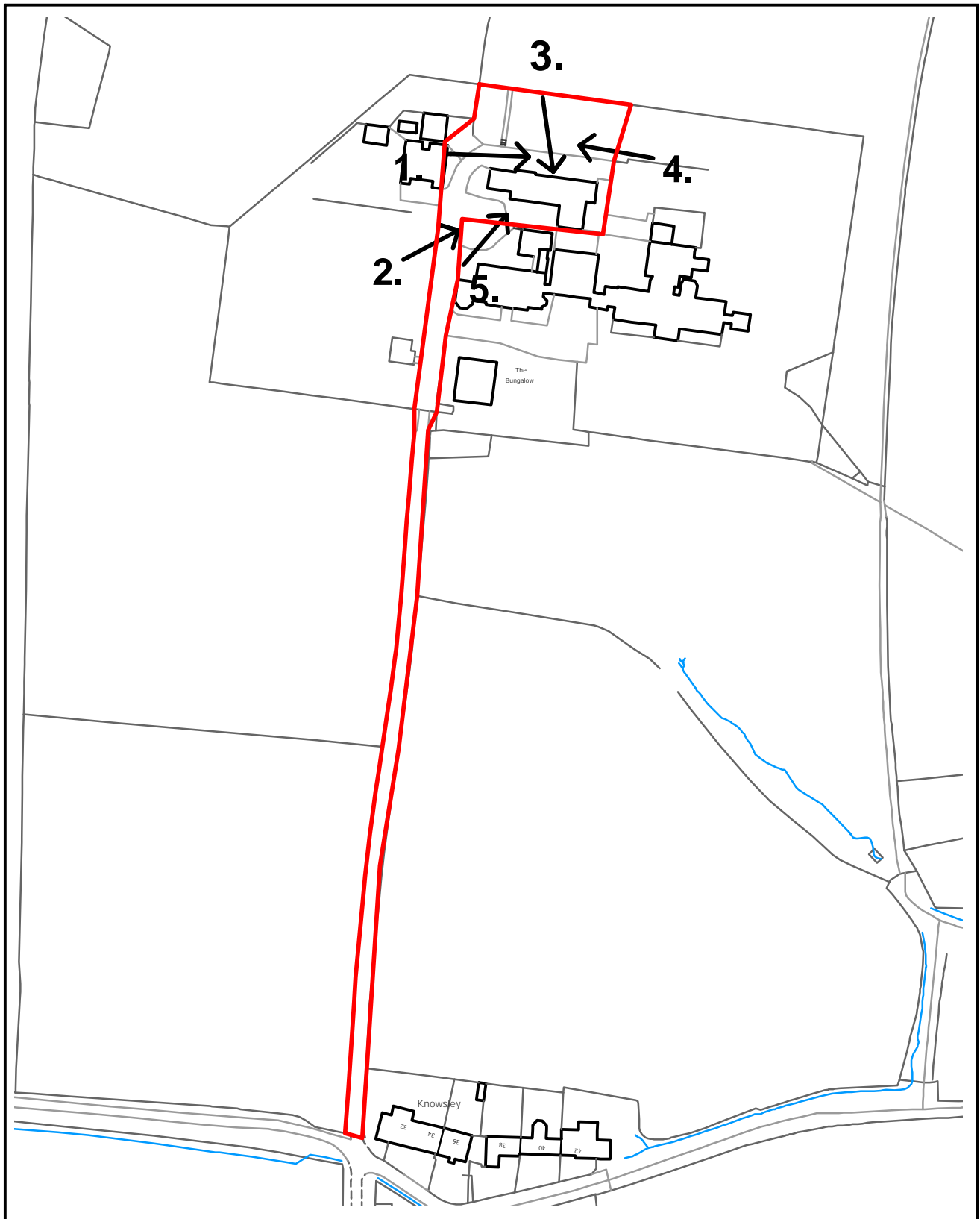
17. The development hereby approved shall not be occupied unless and until:

1. the habitat creation and enhancement works set out in the approved HMMP have been completed; and
 2. a completion report, evidencing the completed habitat enhancements, has been submitted to, and approved in writing by the Local Planning Authority
- The created and/or enhanced habitat specified in the approved HMMP shall be managed and maintained in accordance with the approved HMMP.

Reason. To ensure the development delivers a biodiversity net gain on site in accordance with Schedule 7A of the Town and Country Planning Act 1990 and Places for Everyone Joint Development Plan Policy JP-G8 A Net Enhancement of Biodiversity and Geodiversity.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoint - 72236



ADDRESS: Shore Top Farm, Kearsley Road,
Radcliffe, Manchester, M26 1FA



Planning, Environmental and Regulatory Services

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72236

Photo 1



Photo 2



72236

Photo 3



Photo 4



72236

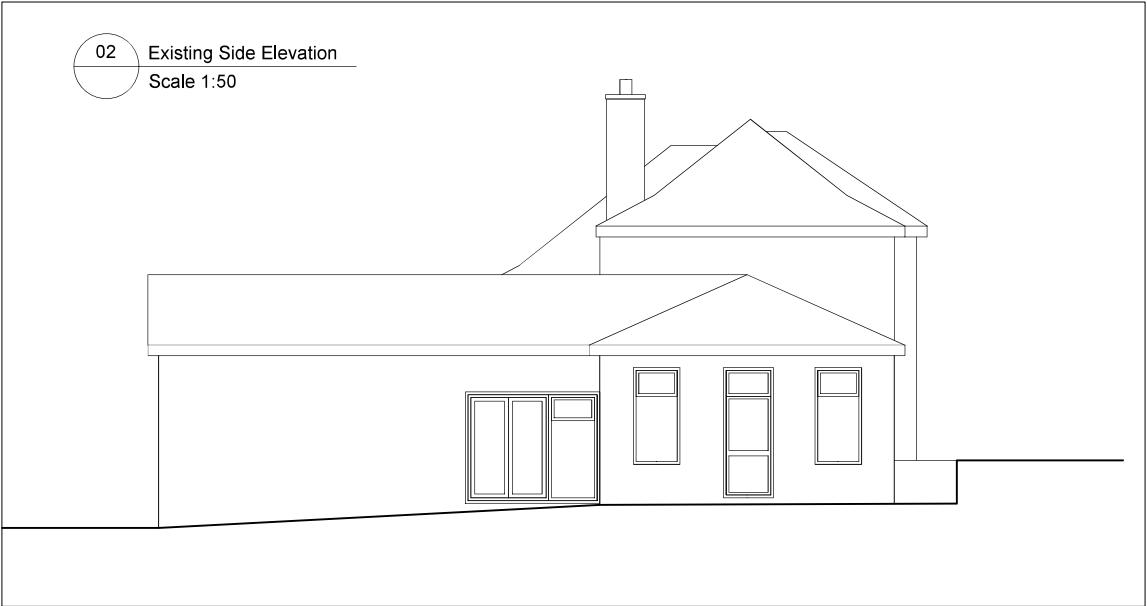
Photo 5



01 Existing Front Elevation
Scale 1:50



02 Existing Side Elevation
Scale 1:50



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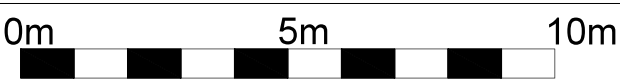
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Position of existing drain runs to be confirmed prior to proceeding and drains checked as necessary.

All relevant boundary positions are to be checked prior to proceeding.

Building regulation drawings can be used for building estimates, however for an accurate quote builders must attend site as these drawings do not account for all aspects of the building works.

Rev	Description	Date	By	CHK
Status				
Survey <input type="checkbox"/> Tender <input type="checkbox"/>				
Construction <input checked="" type="checkbox"/> As Built <input type="checkbox"/>				
Client				
Karl Stopforth				
The Coach House, Ainsworth				
Contract				
Proposed Conversion of Existing Coach House into 3 no. 2 Bed Apartments				
Drawing				
Existing Elevations 1				
Drawing No. TD5-25-195-03				
Revision /				
Scale 1:50 Date Feb '25				
Drawn ZTT Checked				





Scale 1:50



Scale 1:50



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Rev	Description	Date	By	Chk
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Survey ☐ Tender ☐

Client

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into 3 no. 2 Bed Apartments

Drawing
Existing Elevations 2

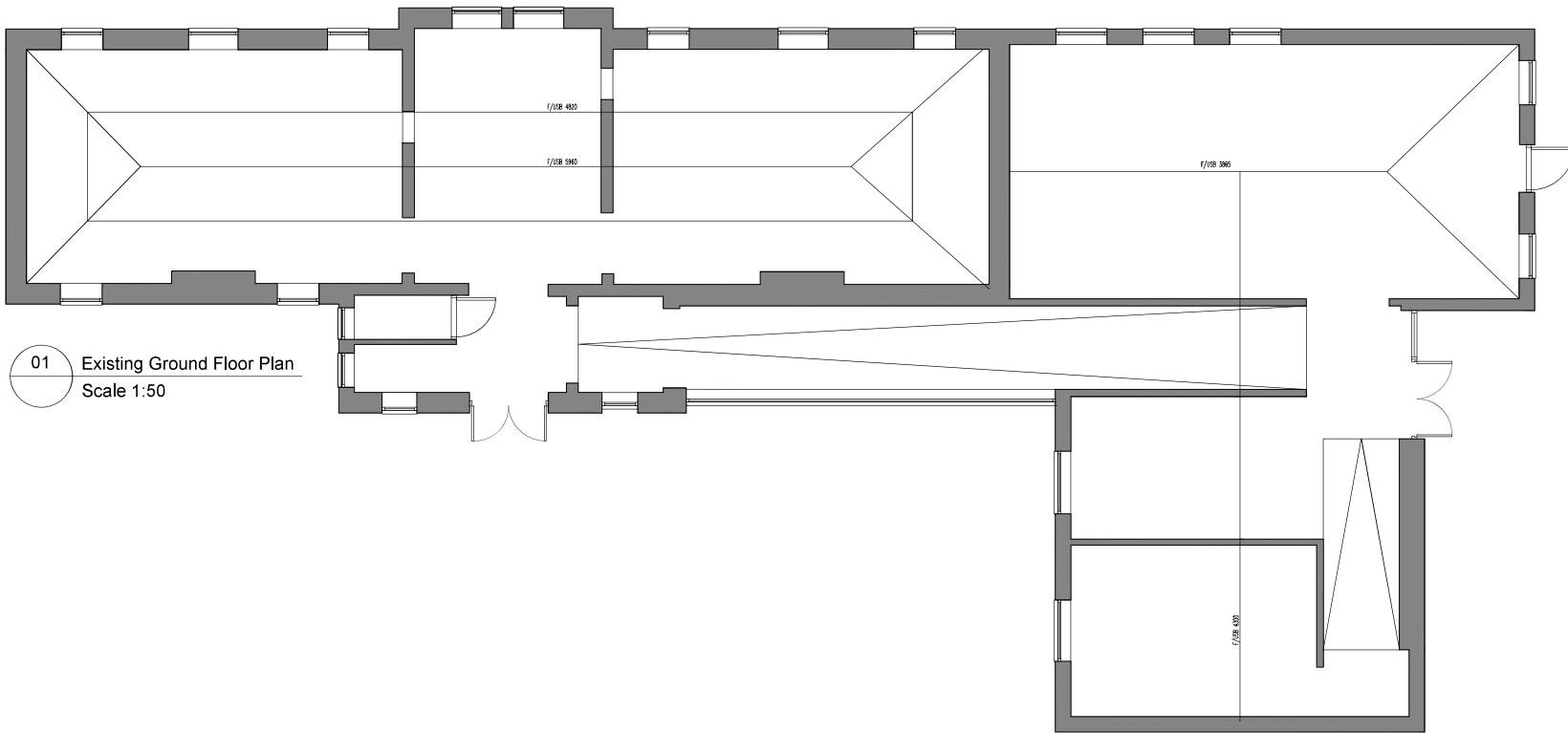
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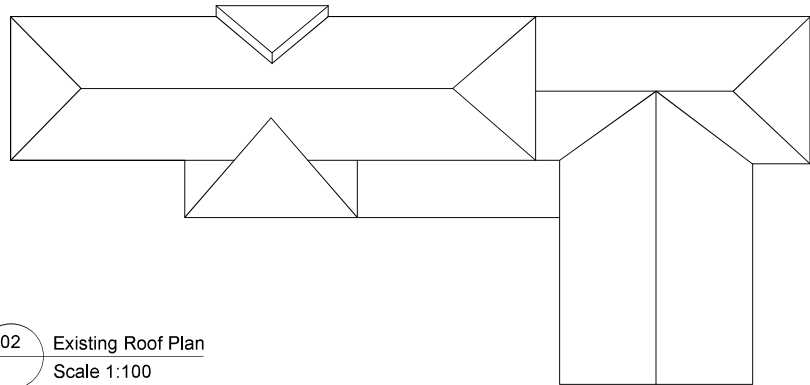
UNIT 10



THORPE
DESIGN
SERVICES LTD



01 Existing Ground Floor Plan
Scale 1:50



02 Existing Roof Plan
Scale 1:100



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Survey	<input type="checkbox"/> Tender <input type="checkbox"/>
Construction	<input checked="" type="checkbox"/> As Built <input type="checkbox"/>

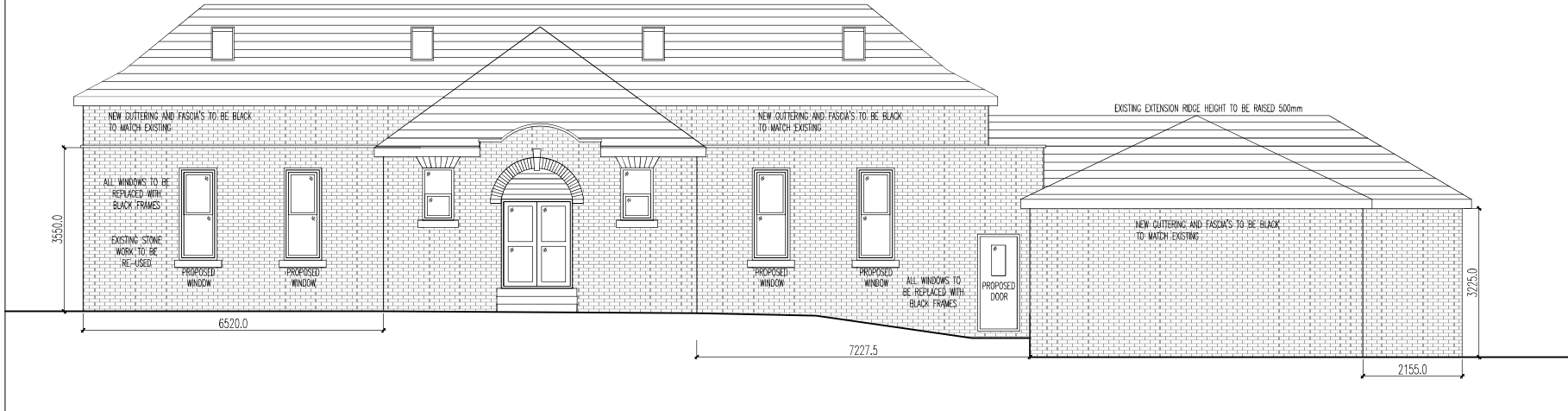
Client
Karl Stopforth
The Coach House, Ainsworth

Contract
Proposed Conversion of Existing Coach House into 3 no. 2 Bed Apartments

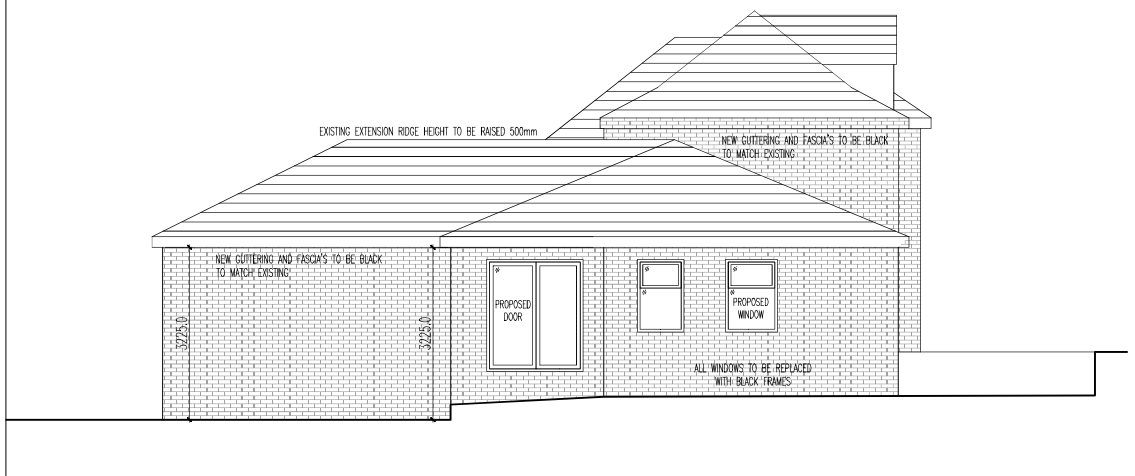
Drawing
Existing Plan

Drawing No.	TD5-25-195-02	Revision	/
Scales	1:50	Date	Feb '25
Drawn	ZTT	Checked	

01 Proposed Front Elevation
Scale 1:50



02 Proposed Side Elevation
Scale 1:50



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Rev	Description	Date	By	CHK
Status				
Survey				
Construction				
Client				
Contract				
Drawing				
Drawing No. TD5-25-195-08				
Scale				
Drawn				
THORP DESIGN SERVICES LTD				

01

Proposed Rear Elevation

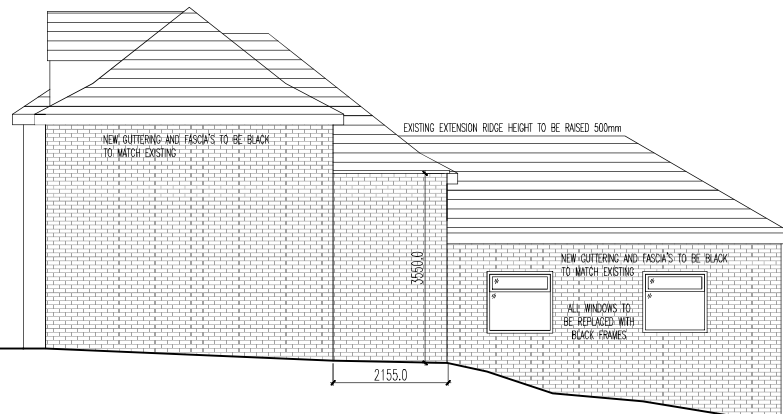
Scale 1:50



02

Proposed Side Elevation

Scale 1:50



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Rev	Description	Date	By	CHK

Status	Purpose for Issue
Survey	<input type="checkbox"/> Tender <input type="checkbox"/>
Construction	<input checked="" type="checkbox"/> As Built <input type="checkbox"/>

Client
Karl Stopforth
The Coach House, Ainsworth

Contract
Proposed Conversion of Existing Coach House into 3 no. 2 Bed Apartments

Drawing
Proposed Elevations 2

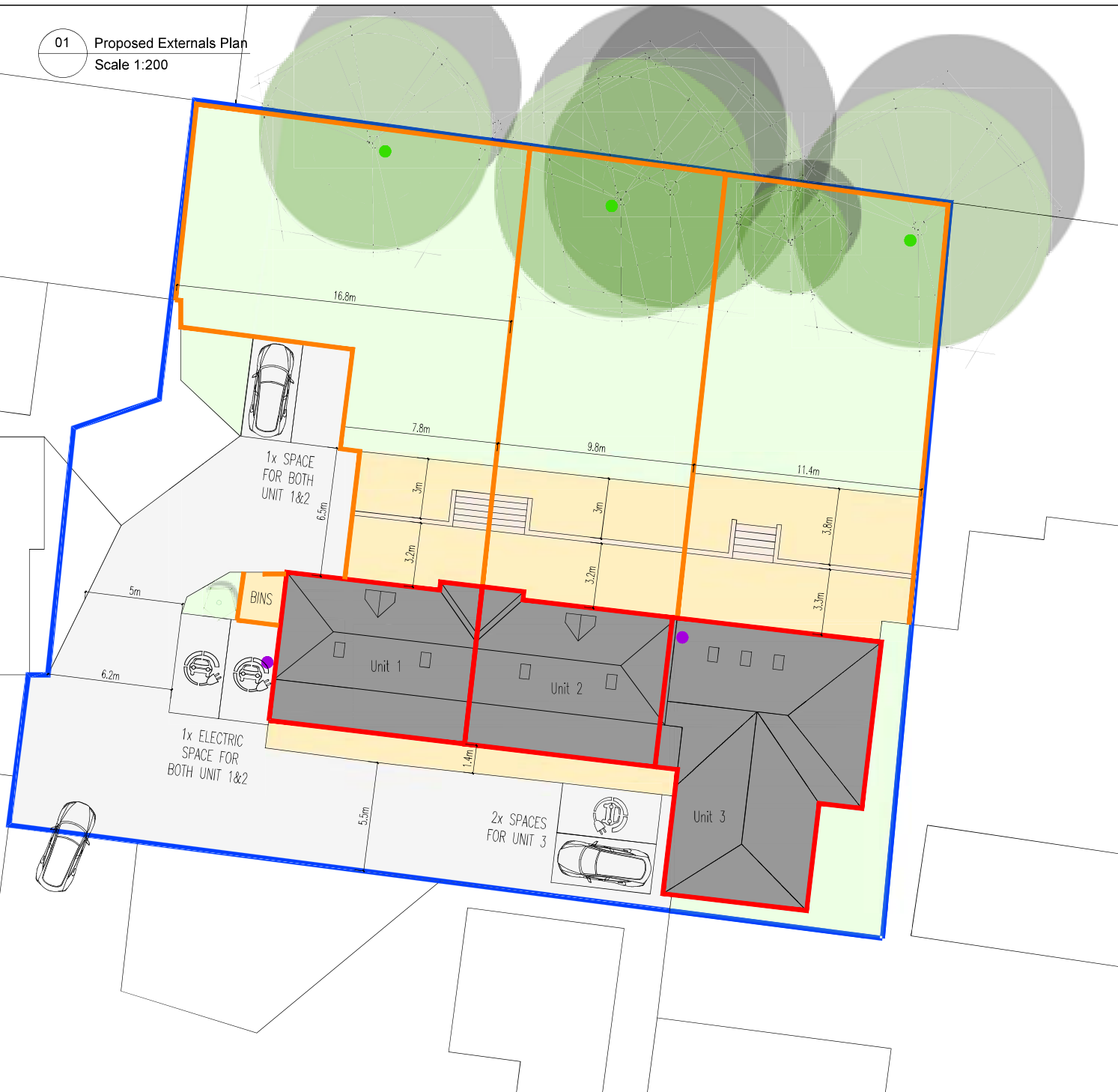
Drawing No. TD5-25-195-09 Revision /
Scale 1:50 Date Feb '25
Drawn ZTT Checked



01

Proposed Externals Plan

Scale 1:200



GRASS

TARMAC

INDIAN STONE PAVING

SITE BOUNDARY

PROPERTY BOUNDARIES

PROPOSED FENCING

BIRD BOXES

BAT BOXES

ELECTRIC CAR SPOT

ALL NEW TREES TO BE PLANTED SHOULD BE NATIVE TO LANCASHIRE (ASH/ALDER/BEECH). NEW TREES SHOULD BE MINIMUM OF 7FT TALL.

1.8m WHALLEY LAP TIMBER FENCING TO BE INSTALLED AROUND GARDENS. TIMBER TO BE TREATED PLANNED TIMBER. POSTS TO BE CONCRETE.

02 Proposed Fencing Detail
Scale 1:20

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Rev	Description	Date	By	CHK

Status	Purpose for Issue
Survey	Yender <input type="checkbox"/> As Built <input type="checkbox"/>
Construction	As Built <input checked="" type="checkbox"/> As Built <input type="checkbox"/>

Client
Karl Stopforth
The Coach House, Ainsworth

Contract
Proposed Conversion of Existing Coach House into 3 no. 2 Bed Apartments

Drawing
Proposed Externals Plan

Drawing No.	TD5-25-195-11	Revision	/
Scales	1:50	Date	Feb '25
Drawn	ZTT	Checked	

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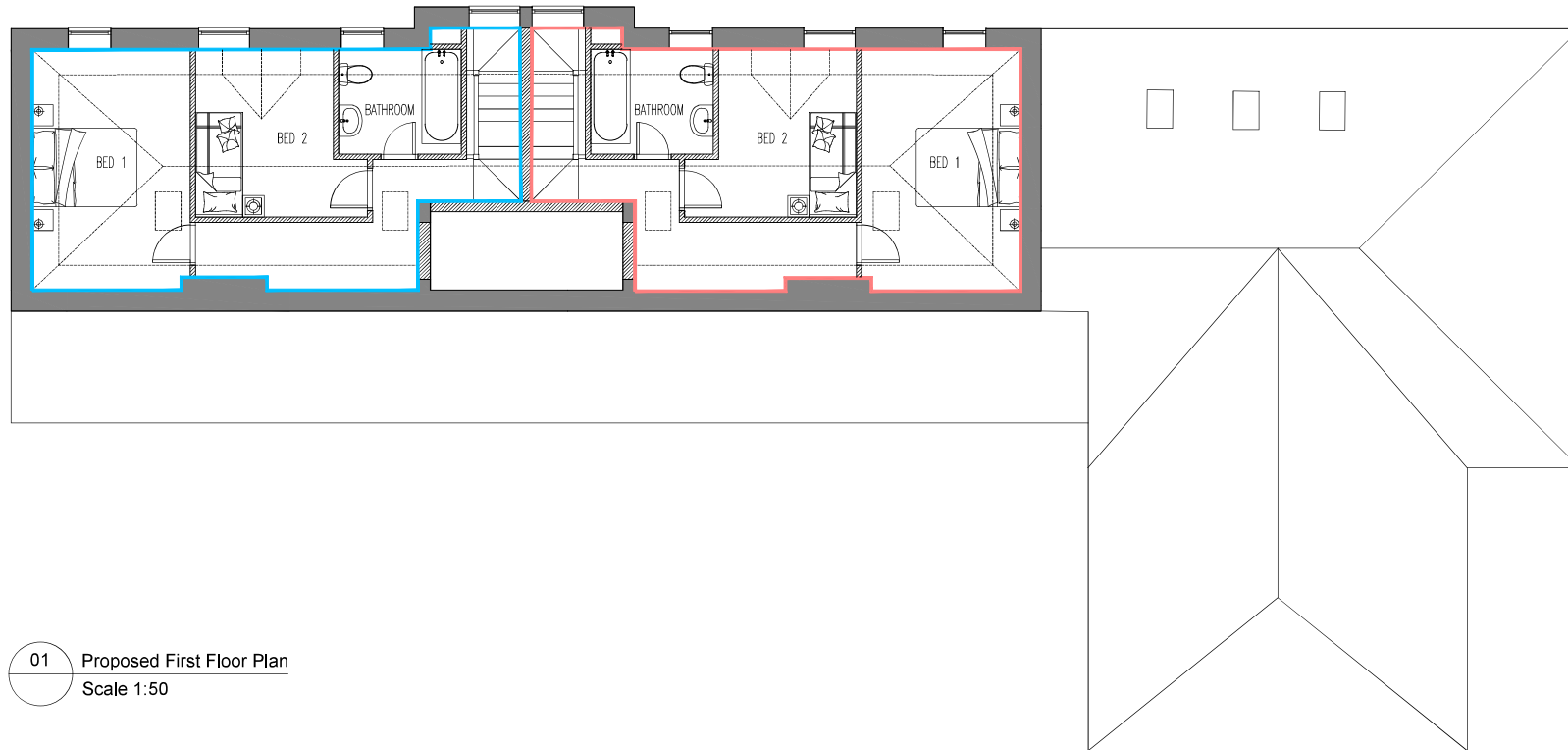
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01 Proposed First Floor Plan
Scale 1:50

Rev	Description	Date	By	CHK

Status Purpose for Issue

Survey ☐ Tender ☐

Construction ☒ As Built ☐

Client
Karl Stopforth
The Coach House, Ainsworth

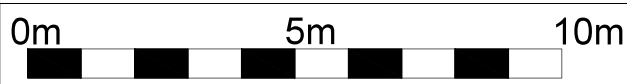
Contract
Proposed Conversion of Existing Coach House into 3 no. 2 Bed Apartments

Drawing
Proposed First Floor Plan

Drawing No. TD5-25-195-07 Revision /

Scales 1:50 Date Feb '25

Drawn ZTT Checked



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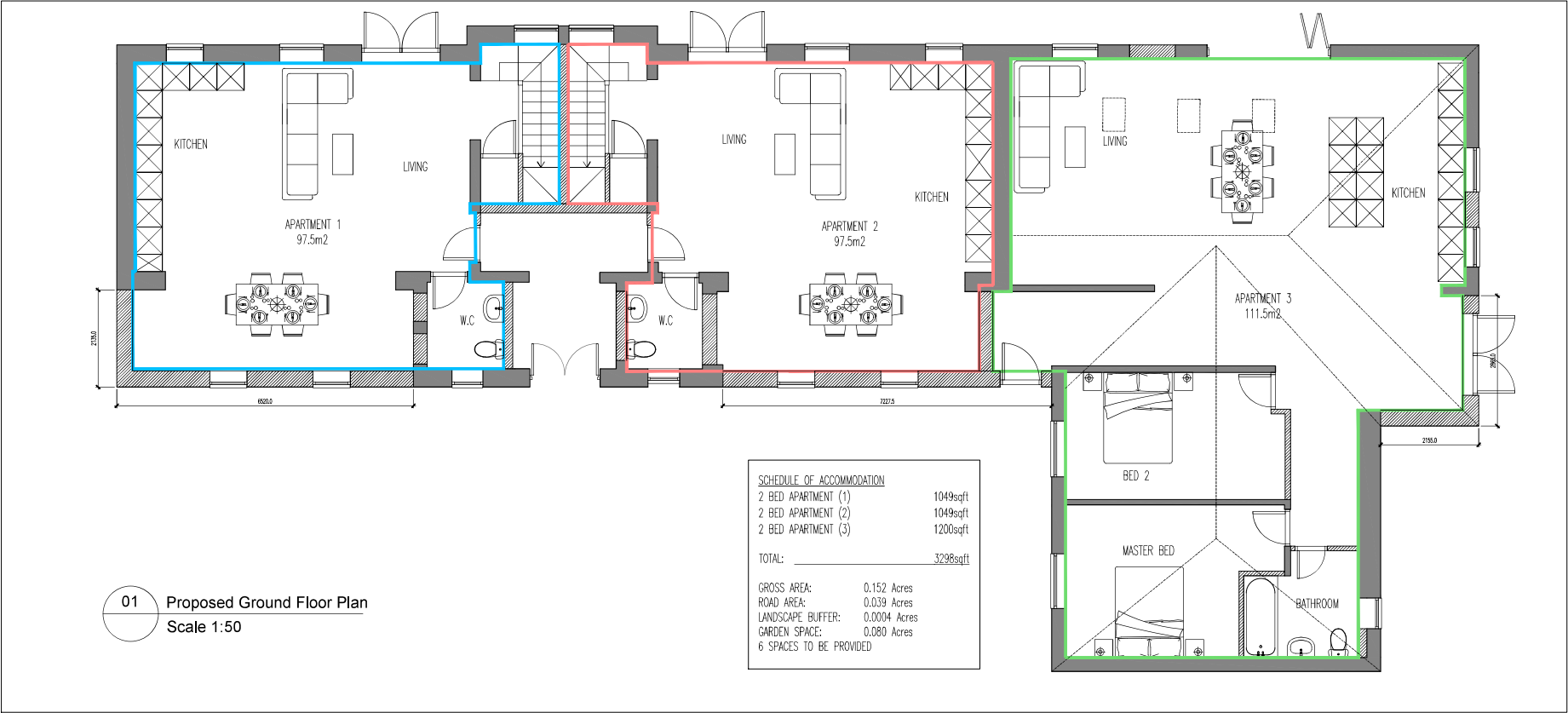
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Rev	Description	Date	By	CHK

Status	Purpose for Issue
Survey	<input type="checkbox"/> Tender <input type="checkbox"/>
Construction	<input checked="" type="checkbox"/> As Built <input type="checkbox"/>

Client
Karl Stopforth
The Coach House, Ainsworth

Contract
Proposed Conversion of Existing Coach House into 3 no. 2 Bed Apartments

Drawing
Proposed Ground Floor Plan

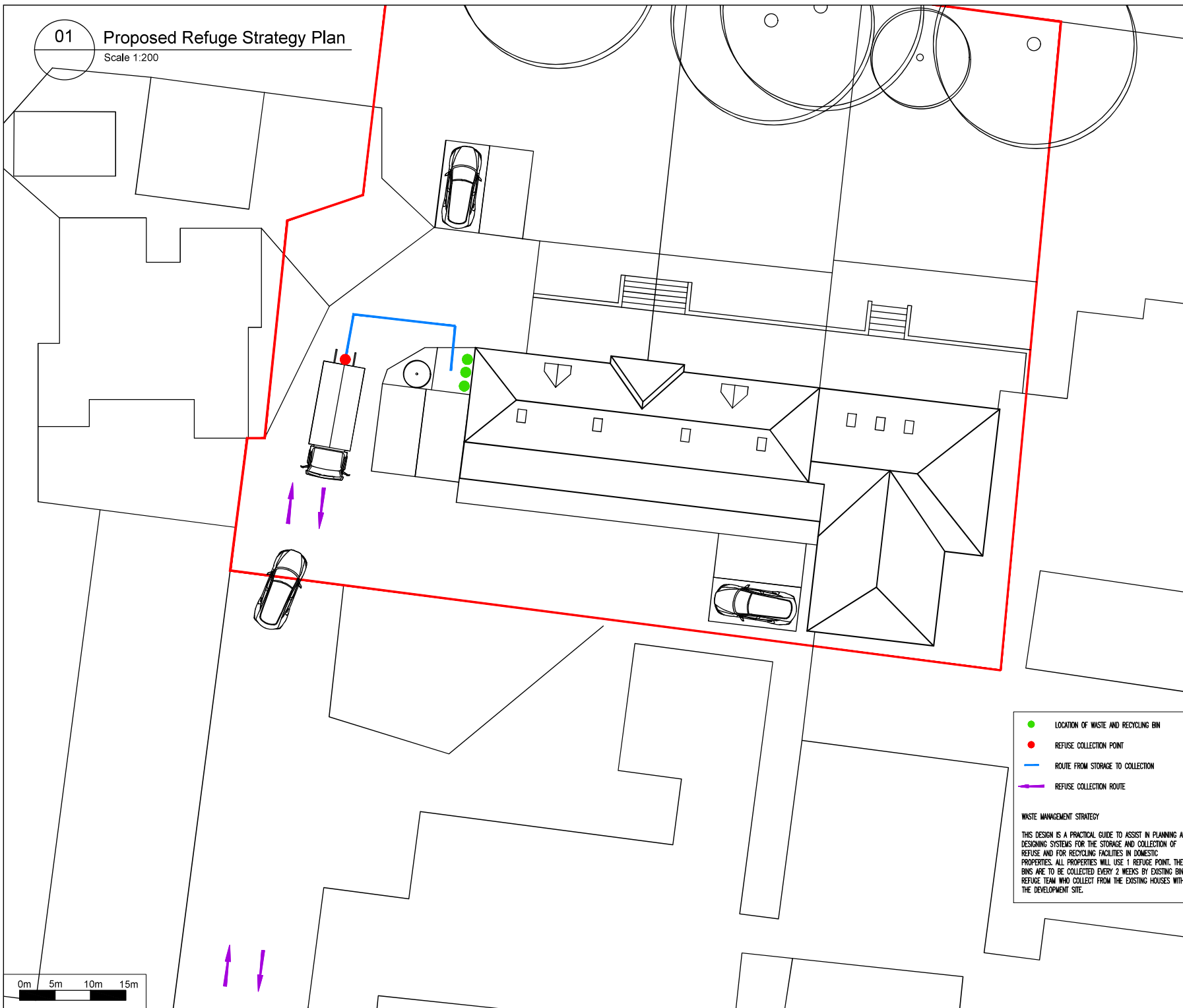
Drawing No. TD5-25-195-06	Revision	/
Scales 1:50	Date	Feb '25
Drawn ZTT	Checked	



01

Proposed Refuge Strategy Plan

Scale 1:200



- LOCATION OF WASTE AND RECYCLING BIN
- REFUSE COLLECTION POINT
- ROUTE FROM STORAGE TO COLLECTION
- ← REFUSE COLLECTION ROUTE

WASTE MANAGEMENT STRATEGY

THIS DESIGN IS A PRACTICAL GUIDE TO ASSIST IN PLANNING AND DESIGNING SYSTEMS FOR THE STORAGE AND COLLECTION OF REFUSE AND FOR RECYCLING FACILITIES IN DOMESTIC PROPERTIES. ALL PROPERTIES WILL USE 1 REFUSE POINT. THE BINS ARE TO BE COLLECTED EVERY 2 WEEKS BY EXISTING BIN REFUSE TEAM WHO COLLECT FROM THE EXISTING HOUSES WITHIN THE DEVELOPMENT SITE.

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Position of existing drain runs to be confirmed prior to proceeding and drains checked as necessary. All relevant boundary positions are to be checked prior to proceeding

Building regulation drawings can be used for building estimates, however for an accurate quote builders must attend site as these drawings do not account for all aspects of the building works.



SURVEY ORIENTATED TO MAGNETIC NORTH

Rev	Description	Date	By	Chk
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Status	Purpose for Issue			
Planning	<input type="checkbox"/>	Tender	<input type="checkbox"/>	
Construction	<input checked="" type="checkbox"/>	As Built	<input type="checkbox"/>	PLANNING

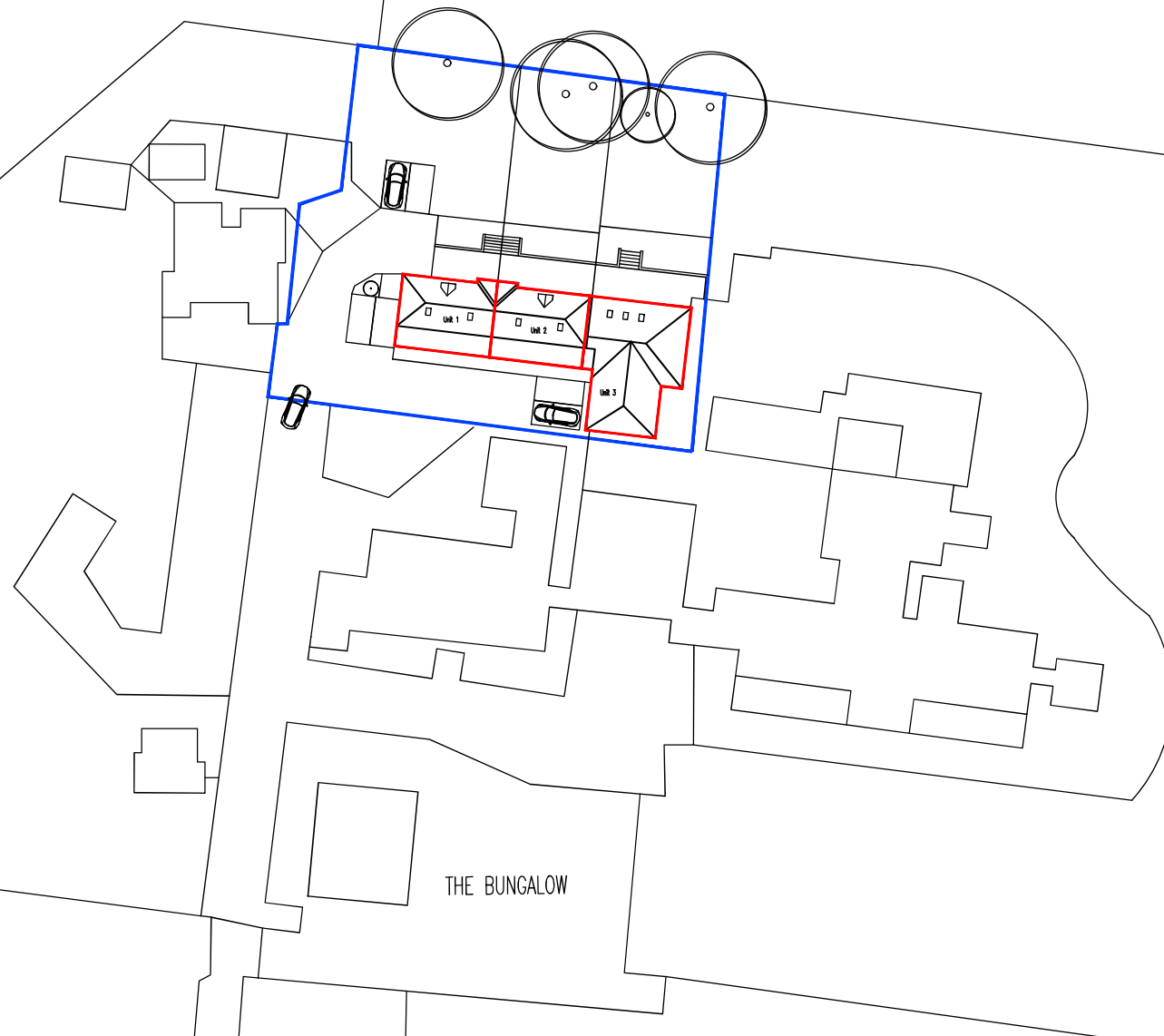
Client
Karl Stopforth
The Coach House, Ainsworth

Contract
Proposed Conversion of Existing Coach House
into 3 no. 2 Bed Apartments

Drawing
Proposed Refuge Site Plan

Drawing No. TDS-25-196-10 Revision /
Scales 1:200 @ A3 Date Feb '25
Drawn ZTT Checked





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All dimensions are to be checked on site and any discrepancies to be referred to the designer before proceeding. All levels to be checked on site All discrepancies between information shown on the drawings and the information in the specification to be referred to the designer prior to proceeding. All component sizes and references to be checked before ordering

Position of existing drain runs to be confirmed prior to proceeding and drains checked as necessary. All relevant boundary positions are to be checked prior to proceeding

Building regulation drawings can be used for building estimates, however for an accurate quote builders must attend site as these drawings do not account for all aspects of the building works.



SURVEY ORIENTATED TO MAGNETIC NORTH

Rev	Description	Date	By	Chk
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Status	Purpose for Issue
Planning <input type="checkbox"/>	Tender <input type="checkbox"/>
Construction <input checked="" type="checkbox"/>	As Built <input type="checkbox"/>
PLANNING	

Client
Karl Stopforth
The Coach House, Ainsworth

Contract
Proposed Conversion of Existing Coach House
into 3 no. 2 Bed Apartments

Drawing
Proposed Site Plan

Drawing No. TDS-25-196-05 Revision /
Scales 1:500 @ A3 Date Feb '25
Drawn ZTT Checked

